



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: CDBG Subcommittee
From: Mallory Sullivan
Date: April 28, 2022
RE: Off-Cycle CDBG Requests for Funding

Overview

Background

Each year, the Arlington CDBG program allocates its grant award from HUD to numerous Subrecipients who utilize those funds for a range of housing, economic development, public services, public facilities, planning and administrative activities. Some years, Subrecipients do not use their grant in full. This happens for many reasons, including costs being lower than expected, budget changes, or because a project has been canceled altogether. When this happens, these funds become available for reprogramming to new or existing activities.

Available Funding

We currently have \$543,000 to be reprogrammed from 2015-2021 grants.

What types of activities can and can't be funded?

These funds can be used to make grants to Affordable Housing, Public Facilities, and Economic Development projects. Due to HUD's statutory caps that limit the amount of funding that can be dedicated to Public Services, Planning, and Administration activities, funds cannot be reprogrammed to these activities without impacting current year budgets.

Process

Throughout the year, the Town receives inquiries about available funding for many different projects. When those projects align with CDBG goals, but the timelines don't fit into the CDBG funding cycle, we retain project information. If funds become available during the year, these organizations are invited to submit a request for funding. Requests are then reviewed by the CDBG Subcommittee. In order to formalize any changes and make grants in accordance with HUD policy, the CDBG Administrator determines whether the change constitutes a "substantial change" to the CDBG Annual Action Plan. The process for making substantial changes to CDBG Annual Action Plans is outlined on Page 2-3 of the [CDBG Citizen Participation Plan](#). For changes that are not considered "substantial," the CDBG Subcommittee's approval is the necessary endorsement that enables a Subrecipient Agreement to be issued to the applicant.

Off-Cycle CDBG Requests & Staff Recommendation

There are currently two viable requests for funding that meet CDBG objectives and that are ready, or nearly ready, to begin work. Each of the interested parties has provided a request for funding, included in the attachments and noted below. The CDBG Subcommittee will review these applications. Any comments, questions, or concerns should be sent directly to me.

If these requests are funded at the level of request, approximately \$93,000 will remain in unspent CDBG funds available from prior year grants. These funds will remain available to be programmed to future eligible projects.

Applicant	Proposed Project	Requested Funds	Recommended Funds	Origin Year Grant	Substantial Amendment triggered?
Arlington Housing Authority	Hauser Building Fire Suppression System Upgrades	\$350,000	\$350,000	2021	YES
Arlington Recreation Department	Parmenter Playground Construction	\$100,000	\$100,000	2019	NO

TOWN OF ARLINGTON
COMMUNITY DEVELOPMENT BLOCK GRANT
FUNDING APPLICATION: PART II
PROGRAM YEAR 47 (JULY 1, 2021 – JUNE 30, 2022)

Agency & Project Summary Information	
I. Contact & Organizational Information (If application is completed by a Collaborative, provide the lead entity contact only)	
Agency/Organization: Arlington Recreation	
Contact Name: Joseph Connelly	Title: Director of Recreation
Mailing Address: 422 Summer Street, Arlington, MA 02474	
Email Address: jconnelly@town.arlington.ma.us	Phone: 781-316-3889
DUNS #: (Note: All entities receiving federal assistance are required to have a DUNS #)	Registered on SAM.gov? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Note: All entities receiving federal assistance are required to be registered on SAM.gov)
Please Identify the Type of Organization Applying for Funds (Note: More than one may apply) <input type="checkbox"/> 501(c)3 <input type="checkbox"/> For-profit authorized under 570.201(o) <input type="checkbox"/> Faith-based Organization <input checked="" type="checkbox"/> Unit of Government <input type="checkbox"/> Institution of Higher Education	
Collaborative Partners: If this application is being submitted on behalf of a collaborative please identify all partnering agencies here.	
II. Project Information & Eligibility	
Project Name: Parmenter School Playground Renovation	
Anticipated Start Dates: Design 9/1/2021, Construction 4/1/2022	Anticipated End Dates: 8/1/2022
Amount of Request: \$250,000	Project Location: 17 Irving Street Arlington, MA
Eligibility: This project/activity must meet ONE of the HUD National Objectives listed below. Please check ONE box below. <input checked="" type="checkbox"/> Low/Moderate Income Area Benefit (LMA): the project/activity meets the needs of persons residing in an area where at least 33.33% of the residents make a low- or moderate-income. Please refer to the PROJECT/ACTIVITY SERVICE AREA map on Part I, Page 4 to determine if your activity is located within an eligible area. <div style="border: 1px solid black; padding: 2px; margin: 5px 0;">Census Tract and Block: 356702.3</div> <input type="checkbox"/> Low/Moderate Limited Clientele (LMC): the activity benefits a group of persons (rather than residents in a particular area) 51% of whom themselves or their family make a low- or moderate-income. The following groups are presumed to be eligible: abused children, battered spouses, elderly persons, adults meeting the Bureau of Census' Current Population Reports definition of "severely disabled", homeless persons, illiterate adults and persons living with AIDS. <input type="checkbox"/> Low/Moderate Housing (LMH): The project will provide or improve permanent residential structures which, upon completion, will be occupied by households that make a low- or moderate-income. This includes but is not limited to acquisition or rehabilitation. Housing can be either owner or renter occupied units in one family or multi-family structures. <input type="checkbox"/> Slum or Blighted Area (SBA): the project is in a designated slum/blighted area as defined under State or local law and will address conditions that qualified the area as slum or blighted. <input type="checkbox"/> Spot Blight (SBS): the project will prevent or eliminate specific conditions of blight or physical decay outside a slum area. Activities are limited to clearance, historic preservation, rehabilitation of buildings, but only to the extent necessary to eliminate conditions detrimental to public health and safety.	
Does your project/activity benefit any of the following? <div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"><input type="checkbox"/> Abused children</div> <div style="width: 33%;"><input type="checkbox"/> Elderly persons (age 62 and older)</div> <div style="width: 33%;"><input type="checkbox"/> Battered spouses</div> <div style="width: 33%;"><input type="checkbox"/> Homeless persons</div> <div style="width: 33%;"><input type="checkbox"/> Severely disabled adults (as defined by Bureau of Census*)</div> <div style="width: 33%;"><input type="checkbox"/> Illiterate adults</div> <div style="width: 33%;"><input type="checkbox"/> Persons living with AIDS</div> <div style="width: 33%;"><input type="checkbox"/> Migrant farm workers</div> <div style="width: 33%;"><input checked="" type="checkbox"/> Other (please specify):</div> </div>	

III. Project Summary

1. Brief Project Description (please avoid using abbreviations)

The Parmenter Playground is in dire need of repair and renovation. In the 2019 Town Wide Playground Audit the Parmenter Playground was determined to be a Hazard 1 playground which means potential for loss of life, permanent disability or body part. The playground auditor stated that the playground should be on the priority list for repair and renovation.

The goal of this project would be to renovate the current playground area and replace with a new playground design with a play structure and play components.

2. Consolidated Plan Goals and Objectives

The goal is to provide the neighborhood with a safe, creative, and fun playground for children and families to use that meets all current ADA and Consumer Product Safety standards.

3. Geographic Distribution of Activities: (Town wide, or Census Tract)

The playground is located in a neighborhood pocket park and will provide direct local playground options to the residents of census block group 356702.3. The old Parmenter School also currently houses the Menotomy Preschool and Arlington Children's Center. Both of these in town children service organization will receive the benefit of a new playground. The playground is also available to the entire Town of Arlington population.

IV. Attachments

The following attachments must accompany this proposal:

- ☐ 501(c)(3) Letter of Tax Determination Status from the Internal Revenue Service (IRS)
- ☐ One (1) copy of agency's most recent financial audit
- ☐ One (1) copy of agency's MA Certificate of Good Standing

The following attachments are options:

- ☐ Letters of Support
- ☒ Resumes, brochures, newspaper articles, or other organizational marketing materials

Project Narrative

Based on the evaluation criteria identified, use the space provided to answer each prompt

1. a) Community Need: Please discuss the community need that will be addressed through your proposed project, and your familiarity with said community need. Project goals must be consistent with the Priority Need categories identified in the 5-Year Consolidated Plan.

As stated the renovation of the Parmenter Playground will assist the Town of Arlington in its efforts to upgrade and renovate their town playgrounds as recommended in the 2019 Town Wide Playground Audit.

The Parmenter Playground is in dire need of repair and renovation. In the 2019 Town Wide Playground Audit the Parmenter Playground was determined to be a Hazard 1 playground which means potential for loss of life, permanent disability or body part. The playground auditor stated that the playground should be on the priority list for repair and renovation.

1. b) Beneficiaries: Will all clients be residents of Arlington?
If not, please provide a percentage of non-Arlington residents.
Yes

1. c) Beneficiaries: Does this activity address any of the following? Select all that apply.

- Help Prevent Homelessness? ☐ Yes ☐ No
- Help the Homeless? ☐ Yes ☐ No
- Help Those with HIV/AIDS? ☐ Yes ☐ No
- Help Persons with Disabilities? ☒ Yes ☐ No

2. Resources & Capacity: Please discuss the staff and resources that will be used to execute the proposed project, familiarity with the community need and how said need/population will be contacted & engaged.

The project would be under the jurisdiction of the Arlington Park Commission. The Arlington Park Commission has been responsible for millions of dollars worth of renovations to Town of Arlington Recreational Facilities including dozens of playgrounds.

The project will be directly staffed/supervised by the Arlington Recreation Department and the Director of Recreation.

There will be a full public outreach process during the design phase that will include no less than three public meetings.

3. Encouraging Partnerships: Does the proposed project involve new or existing partnerships with other service providers in the community? Please Explain.

N/A

4. Cost Benefit: Describe how the overall cost of your proposed project relates to the outputs or outcomes of the project. For example, divide the funding request by the estimated number of people served by this program: \$10,000 funding request /100 people served= \$100/person.

Although the Parmenter Playground's anticipated use is the direct neighborhood and the tenants of the old Parmenter School, the playground would be open and available to the entire Town of Arlington. With a population of 43,000 residents the cost per person would be approximately \$6.

5. Leveraged Funds: Has the organization secured additional funding sources or in-kind support to cover the proposed project?

Arlington Recreation will be receiving \$100,000 from the State of Massachusetts for general playground improvement and plans to use those funds for the Parmenter School Playground renovation project.

6. Self Sufficiency: Will the proposed project be self-sufficient and no longer require CDBG funds after one year? After 3 years?

The program would be self-sufficient after the initial construction and the long term maintenance cost would be the responsibility of the DPW and Recreation Department operating budgets.

7. New Public Services Program: Is the proposed project offering a new service and is it available from any other providers in the community?

N/A

8. Additional Comments: If necessary, use this space to include additional project information not covered in the categories above.

The renovation of the Parmenter School Playground in FY 22 would assist the Park and Recreation Commission in their multi year capital improvement plan by moving the Parmenter School planned renovation up from FY 26 to FY 22.

Part II. Project Budget			
Please provide a budget for the proposed project, using Table A OR Table B, and Table C as applicable. Include all proposed expenses and funding sources in detail. Upon notification of a project’s acceptance, the Town may request a detailed budget.			
A. Non-Construction Projects/Activities (Public Services, Economic Development)			
Description	A	B	A+B
	CDBG Funds Requested	Other Funding	Total Proposed Budget
TOTAL PROPOSED BUDGET			
B. Construction Projects (Housing, Public Facilities) Note: Federal wage rates may apply for some construction projects. Applicants are strongly advised to speak with Town of Arlington staff before submitting an application for a physical project.			
Description	A	B	A+B
	CDBG Funds Requested	Other Funding	Total Proposed Budget
Construction			
Acquisition			
Appraisals/Studies			
Design			
Other:			
Other:			
TOTAL PROPOSED BUDGET			
C. Summary of Other Funding: Please indicate the amount and type of additional funding committed or pending for this project, if applicable. (Do not include CDBG amounts requested in this application)			
Funding Source		Amount	Committed or Pending
Other Federal:			
State:			
Local:			
Private:			
Total:			
Applicants may use this space to share more information about secured or pending leveraged funds and in-kind support.			
D. Cost-Benefit Analysis: Describe how the CDBG costs of your proposed project relate to the beneficiaries of the project. Divide the funding request by the estimated number of people served by this program. Example: \$10,000 funding request /100 proposed beneficiaries= \$100 per beneficiary.			
<div>TOTAL CDBG REQUEST AMOUNT: \$ _____ = \$ _____ PER BENEFICIARY</div> <div>TOTAL NUMBER OF PROPOSED BENEFICIARIES: # _____</div>			
E. Funding Availability: If your project is funded at a lower amount than requested, can it feasibly be carried out? Please explain.			

Performance and Outcome Measurement
MEASURING ACCOMPLISHMENTS TABLE

PLEASE AVOID ABBREVIATIONS

NEED STATEMENT	GOAL	INPUTS	ACTIVITIES	OUTPUTS	OUTCOMES
Description of Need to be Addressed	Proposed goals to reduce extent of problems or needs	Resources to be dedicated or utilized to meet proposed goals	What the program does with the input to fulfill its mission	Direct products of program activities	ST (Short Term) LT (Long Term) Benefits that result from the program
Non compliant Playground	Compliant Playground	Funding	Renovate Playground	Kids at Play	Safe, Creative, Compliant Playground

Nationally Reportable Outputs

Please indicate the number of outputs expected

Businesses Assisted		Persons Served	
Households Assisted		Jobs Created	

Performance Evaluation Plan

Explain your plan for evaluating the progress and results of your project.

The newly renovated playground will be inspected prior to opening by a certified playground inspector for all ADA and safety compliance.

Email your completed grant application and required attachments to: mjsullivan@town.arlington.ma.us.

PLAYGROUND NAME & ADDRESS: Peirce, 85 Park Ave

DATE OF SITE VISIT: 10.12.2019

AGE APPROPRIATE: 2-5 YRS ☒ 5-12 YRS 2-12 YRS

MANUFACTURER and YEAR OF ORIGINAL INSTALL: Landscape Structures, Inc., 1998

OVERALL CONDITION OF PLAYGROUND:

POOR: HAZARD 1: Loss of life, Permanent disability or body part.

Condition should be corrected immediately.

☒ **FAIR: HAZARD 2: Serious injury or illness resulting in temporary disability.**

Condition should be corrected as soon as possible.

GOOD: HAZARD 3: Minor [non-disabling] injury/Non-Compliant

Condition should be corrected when time allows.

1. GENERAL SITE CONDITIONS AND APPROACH

Access to the playground is good. There is access from 3 different sides of the playground. There are good site lines from all sides. Located in a residential setting with homes on all sides. Next to the playground is a basketball court and a several pieces of fitness-type equipment.

2. VISUAL SURFACING REVIEW

The surfacing is in fair condition. Weeding and a 'top off' of EWF is needed. The site has a good linear layout that prevents the splay and loss of EWF.

3. COMPONENT STRUCTURE REVIEW

There is evidence of the lack of maintenance, especially with moving parts. The red cable pieces have snapped, incorrect hardware has been installed on a component, and the swings need new hardware. There is evidence of heavy wear and tear on the decks and components. Parts and maintenance is needed now to allow a longer life at the site.

3. COMPONENT STRUCTURE REVIEW

The equipment is a mixture of wood, metal and plastic.

Remove the front spiral slide and board the top now. The slide is cracked and cannot be replaced, as the Manufacturer is no longer in business.

Order seven [7] pieces of four [4] links of chain. This can be done through any Manufacturer. The age of the equipment and inability to retrofit may indicate the need for removal of equipment and surface.

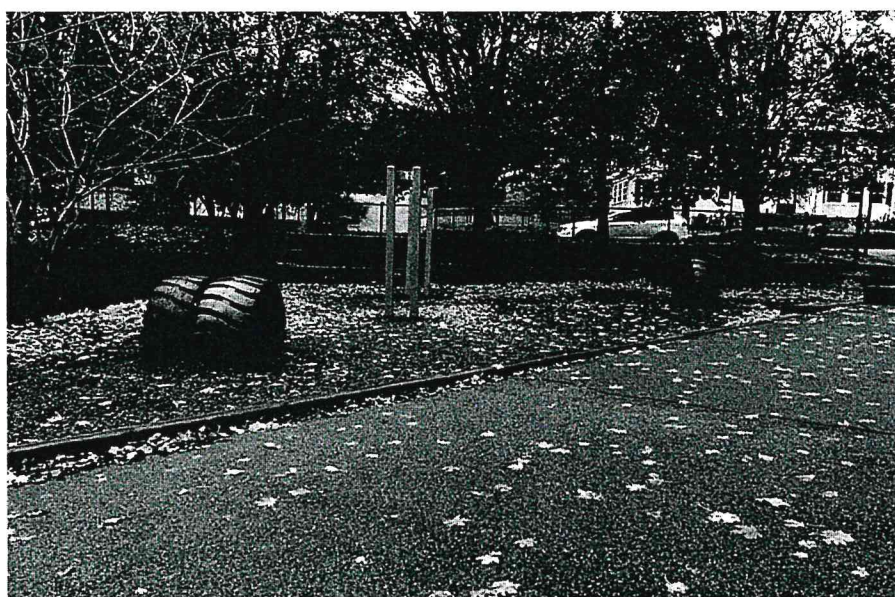
4. FREE STANDING EQUIPMENT (INCLUDING SWINGS)

Rubber tires are buried in the ground. They are very slippery and full of debris. A tire swing has been removed. Remove the tires.

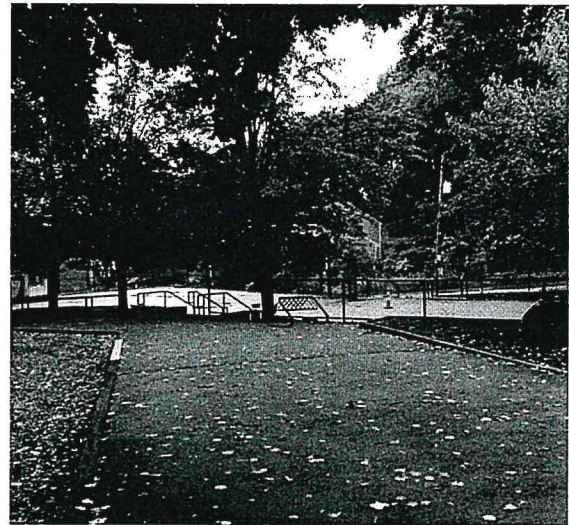
5. SUMMARY/RECOMMENDATIONS

- Remove and replace the links.
- Cut back vegetation.
- If the school uses the playground, they should be aware that the equipment is in 'fair to poor' condition. Efforts may be made to repair the equipment as an interim step.
- If the school does not use the playground, a few independent pieces of equipment could be considered for the future.
- This playground could be on the priority list, but first, the user needs to be identified [school and/or neighborhood].
- If the Pre-K children are using this site, I recommend not allowing them to use the site, as it is not age appropriate.
- In my professional opinion, I suggest to remove and replace the swings with a 5-12 climbing net.

ADDITIONAL PLAYGROUND PHOTOS



ADDITIONAL PLAYGROUND PHOTOS





Assessment Notes

- Improvements to **ADA accessibility** are necessary to and from play equipment and access points. A hybrid use of safety surface materials is preferred (rubber for accessibility and high wear areas, wood fiber for others).
- Site needs an **entire playground redesign** offers an opportunity to really get **creative**.
- Existing **retaining walls** have cracks need to be addressed.
- Arlington has record drawings.
- As building use changes, so does use and frequency of playground.
- Maintain storage shed(s).
- Gets a lot of use from adjacent neighborhood.
- Would like half-court basketball and 4-square.
- Asphalt area does not need to be fully retained.
- Focus **play for younger children**.
- A good example of a pocket park to look at is Hibbert Playground

Photo Legend

1. General Overview: Parmenter Playground is located next to the Arlington Children's Center; the use of this abutting building is ever-changing. This approximate 2,025 sf site has significant grade change that has been addressed with retaining walls, stairs, and ramps. The play area includes one main play structure and some tire climbing elements. There is a large expanse of 'hot top' asphalt used as play courts and currently outdoor learning facilities.
2. Accessibility: ADA accessibility is lacking due to mulch material and wood edging throughout. Existing ramps connect playground with courts. Parking for the playground is unclear.
3. Furnishings: Two benches and planter edges are possibilities for current seating. There is a storage shed on asphalt area.
4. Edges: The playground is fenced on all sides. Retaining walls enclose one side of the asphalt area and drop off on the other side. Cracks need to be addressed.
5. Character: Current theme is not as evident as most of the other playgrounds in this report. School use and elevation change are the major existing characteristics.
6. Vegetation: Edge trees and healthy planter trees provide adequate shade for playground, while asphalt is in need of more sun protection.

Conditions Assessment

Parmenter Playground & Courts



ACCESS POINTS

Accessible entrances and associated parking along street needs to be considered as part of the conceptual design.

IMPROVE PLAY ACCESSIBILITY

Use rubber safety surface paths to connect play equipment and entrances for a more inclusive play experience. Rubber mats will be used at high traffic areas.

SHRINK ASPHALT AREA

Asphalt area does not need to be fully retained.

CONNECTED TO ADJOINING PLAY AREA

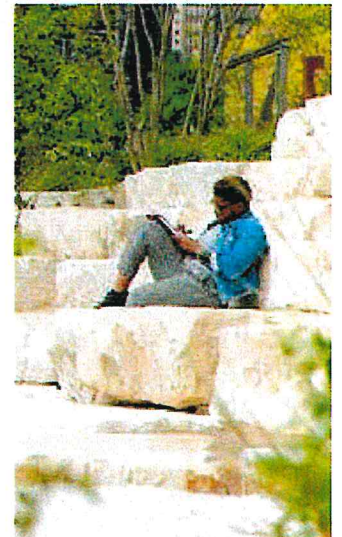
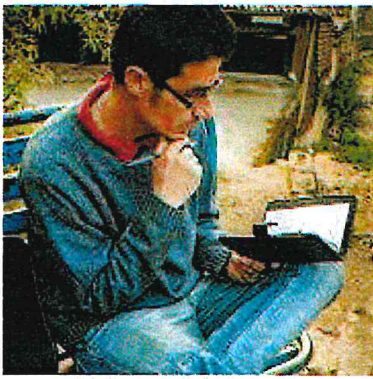
MAINTAIN STORAGE SHEDS

RETAINING WALLS

Cracking at repaired areas may indicate a structural issue. Additional investigation may be needed.

Conditions Assessment

Parmenter Playground & Courts



Precedents

Parmenter Playground & Courts

Opinion of Probable Project Costs:



226 Causeway Street
Boston, MA 02114

PROJECT: Arlington Field and Playground Feasibility Study
PROJ #: 210801854
STATUS: Conceptual Design
DATE: 2/9/2021

NOTE:

Due to the inflationary and unpredictable construction climate, this opinion of probable costs may not represent the actual cost of construction.

Parmenter Playground & Other Site Improvements

Item #	Item/Remarks	Notes	Total	Unit	Unit Cost	Cost	Subtotal
ITEMIZED OPINION OF PROBABLE CONSTRUCTION COSTS							
00001	Site Preparation and Demolition / Earthwork						\$63,037.50
1	Mobilization		1	ALLOW	\$10,000.00	\$10,000.00	
2	Remove and Dispose Playground Equipment, Furnishing(s) and Footings		1	ALLOW	\$12,000.00	\$12,000.00	
3	Remove and Dispose Safety Surfacing		4,625	SF	\$1.00	\$4,625.00	
4	Remove and Dispose pavement (full depth)		4,850	SF	\$2.25	\$10,912.50	
5	Wall demolition - wood timber		1	ALLOW	\$12,000.00	\$12,000.00	
6	Common Fill		300	CY	\$30.00	\$9,000.00	
7	Earthwork		0	ALLOW	\$15,000.00	\$0.00	
8	Construction Fence		100	LF	\$5.00	\$500.00	
9	Tree Protection Fence		500	LF	\$5.00	\$2,500.00	
10	Erosion and Sedimentation Control		1	ALLOW	\$1,500.00	\$1,500.00	
	Subtotal					\$63,037.50	
00002	Park Improvements						\$385,063
1	Concrete Paving (entry plaza)		150	SF	\$11.00	\$1,650.00	
2	Tot Lot Play Equipment		1	ALLOW	\$125,000.00	\$125,000.00	
3	Natural Play Elements (wood stumps, etc.)		1	ALLOW	\$15,000.00	\$15,000.00	
4	Stone: Boulders & Stacked Stone Slopes		1,275	SF	\$100.00	\$127,500.00	
5	Paving Repair		1	ALLOW	\$3,500.00	\$3,500.00	
6	Mill and Overlay		9,400	SF	\$3.00	\$28,200.00	
7	Bit. Conc. Paving		250	SF	\$8.00	\$2,000.00	
8	Pavement markings		1	ALLOW	\$12,000.00	\$12,000.00	
9	12" Depth Wood Fiber Safety Surface		3,100	SF	\$10.00	\$31,000.00	
10	Rubber Safety Surface		1,000	SF	\$30.00	\$30,000.00	
11	Wall Repair		1	ALLOW	\$2,500.00	\$2,500.00	
12	Loam		115	CY	\$30.00	\$3,450.00	
13	Loaming & Seeding disturbed areas		2,175	SF	\$1.50	\$3,262.50	
	Subtotal					\$385,062.50	
	Subtotal:						\$448,100
	4% General Conditions						\$17,924
	8% Contractors Overhead and Profit						\$35,848
	6% Price Escalation for FY '24						\$26,886
	CONSTRUCTION SUBTOTAL:						\$528,758
00003	Consulting Costs						\$65,000.00
1	Design & Construction Administration		1	ALLOW	\$60,000.00	\$60,000.00	
2	Survey		1	ALLOW	\$5,000.00	\$5,000.00	
	Subtotal					\$65,000.00	
	DESIGN & CONSTRUCTION SUBTOTAL:						\$593,758
	10% Construction Contingency						\$52,876
	TOTAL OPINION OF PROBABLE PROJECT COSTS						\$646,634
00004	ALTERNATE #1 : Plantings						\$35,600
1	Deciduous Trees		14	EA	\$1,000.00	\$14,000.00	
2	Hardy Groundcover		720	EA	\$30.00	\$21,600.00	
	Subtotal					\$35,600.00	
00005	ALTERNATE #2 : Site Furnishings						\$35,500
1	Cafe Tables (w/ conc. pad)		4	SF	\$3,500.00	\$14,000.00	
2	Benches (w/ conc. pad)		6	EA	\$2,500.00	\$15,000.00	
3	Trash Receptacles		2	EA	\$2,500.00	\$5,000.00	
4	Signage		1	ALLOW	\$1,500.00	\$1,500.00	
	Subtotal					\$35,500.00	

Cost Estimate

Parmenter Playground & Courts



Commissioners:

Brian J. Connor, Chair
Jo Anne Preston, Vice Chair
Gaar Talanian, Treasurer
Fiorella Badilla
Nicholas Mitropoulos

Executive Director

Jack Nagle

Tel.: (781) 646-3400

Fax: (781) 643-6923

April 14, 2022

Ms. Mallory Sullivan
Department of Planning and Community Development
Town of Arlington
730 Mass Ave. Annex
Arlington, MA 02476

RE: Community Development Block Grant (CDBG) Application for Hauser Building

Dear Ms. Sullivan,

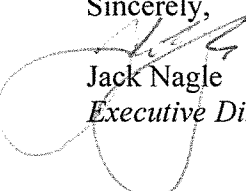
This letter is the Arlington Housing Authority's request for consideration for off cycle CDBG funding. We are requesting \$350,000.00 to help fund our Fire Alarm System Upgrade project at the Hauser Building located at 37 Drake Road, Arlington, MA 02476. We currently have \$501,606.50 committed to this project in DHCD Formula Funding. When this project was previously bid the low bidder came in at \$836,900.00. We decided to reject the low bidder due to the Arlington Housing Authority not having sufficient funding for this project. CDBG off cycle funding will allow the Arlington Housing Authority to rebid the project without reducing the scope. It will also provide the AHA the ability to bid the project in accordance with Davis Bacon Wage Determinations and other applicable requirements associated with Federal funding sources like CDBG. The reason I have requested \$350,000.00 rather than the exact figure is anticipated cost increases related to Davis Bacon Wage Determinations and others.

I have enclosed with this letter the drawings and specifications for this project for your reference. They will showcase important details related to this project including that this work will take place in all 144 units at the Hauser Building. Our plan is to rebid this project as soon as possible. This will ensure that the work will be able to be completed in State/Town Fiscal Year 2023.

We appreciate the continued partnership between the Town of Arlington and the AHA in looking for solutions to modernize the AHA's developments. We hope you consider the Arlington Housing Authority's proposal as a sustainable, cost-effective and good use of CDBG funds.

If you should have any questions, please do not hesitate to contact me at jnagle@arlingtonhousing.org or 781-646-3400 x12.

Sincerely,

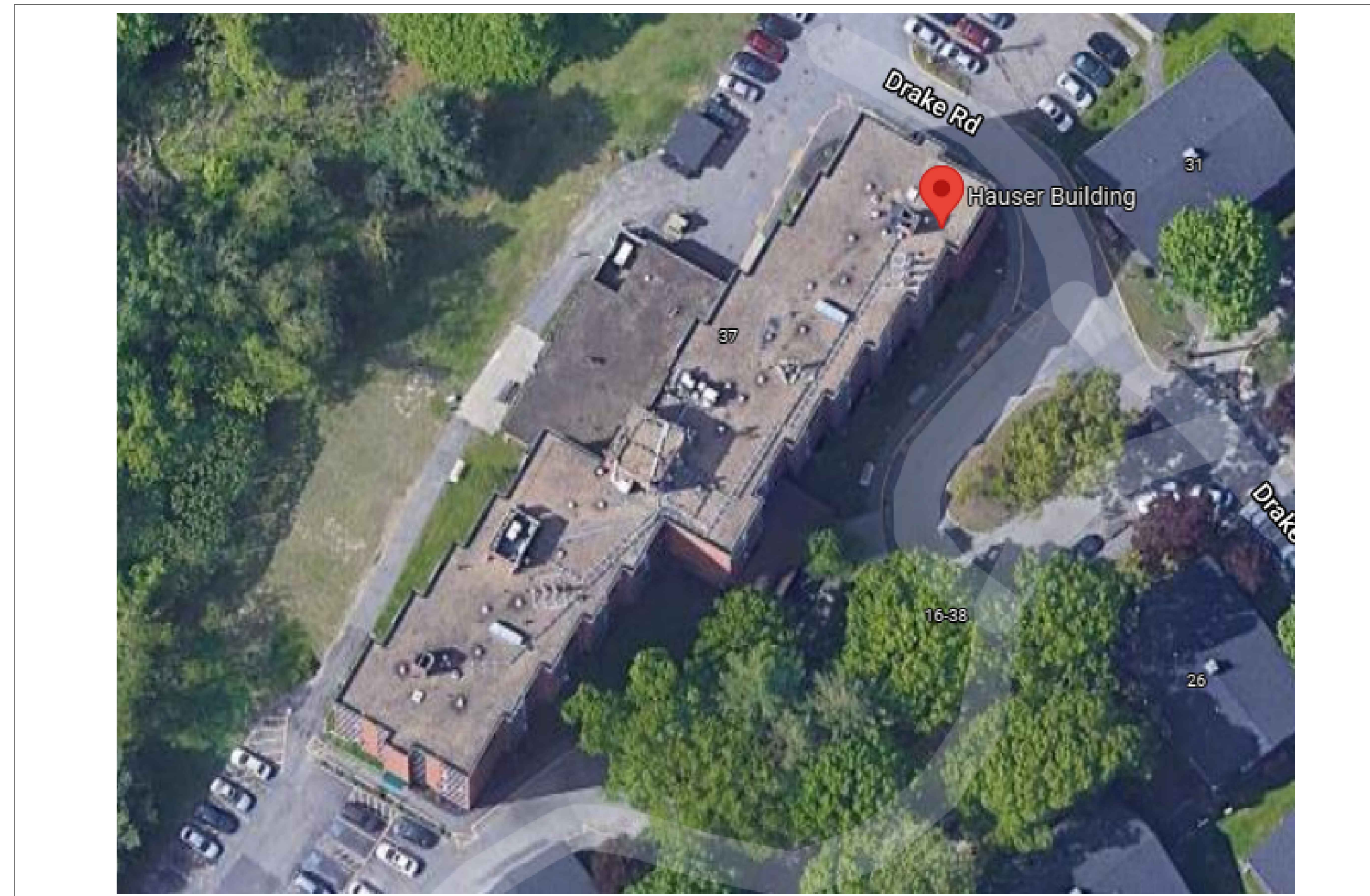

Jack Nagle
Executive Director

DHCD PROJECT # 010102 ARLINGTON HOUSING AUTHORITY

FIRE ALARM SYSTEM UPGRADES

37 DRAKE RD DEVELOPMENT, 667-4

HAUSER BUILDING



Drawing List

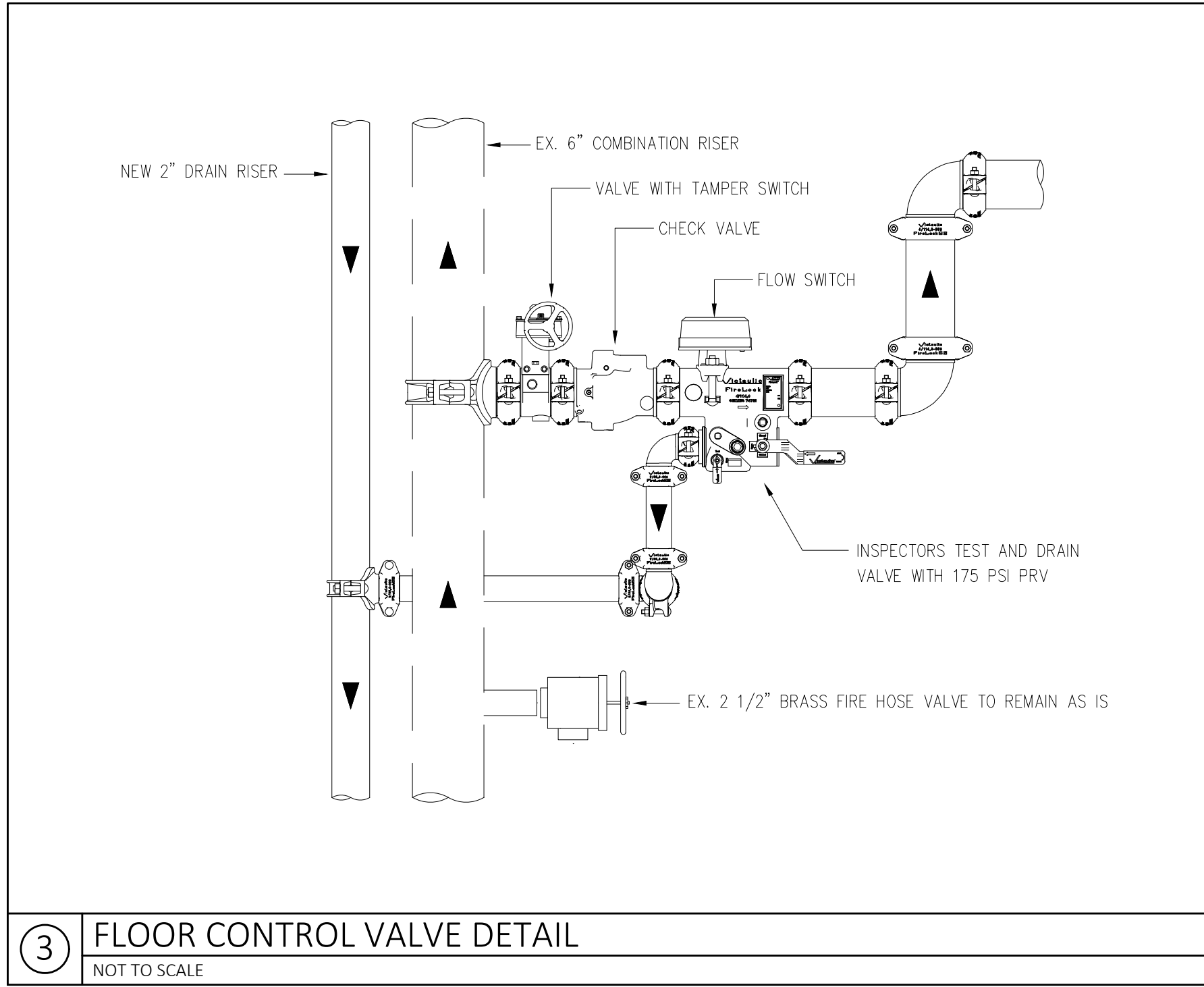
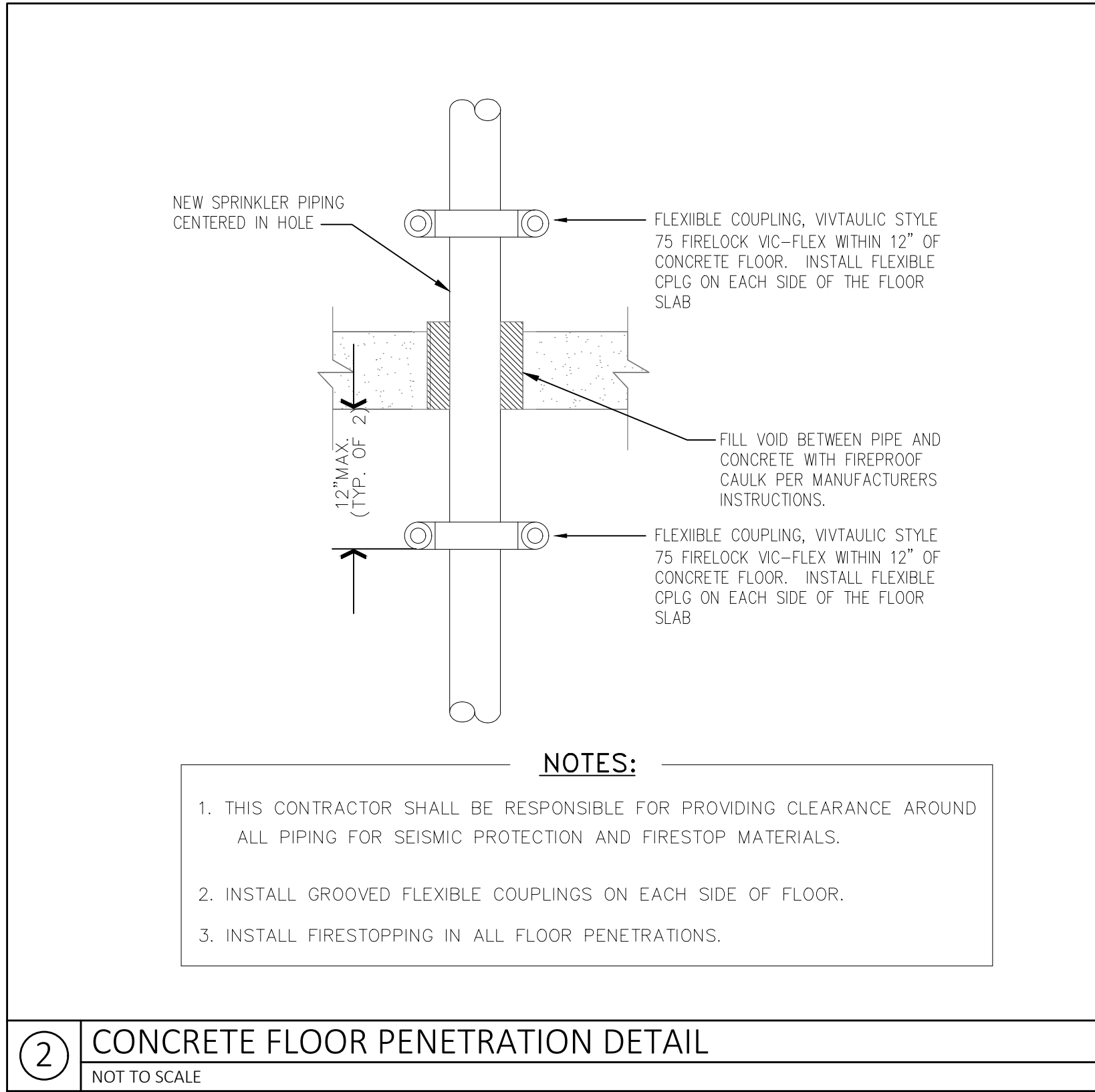
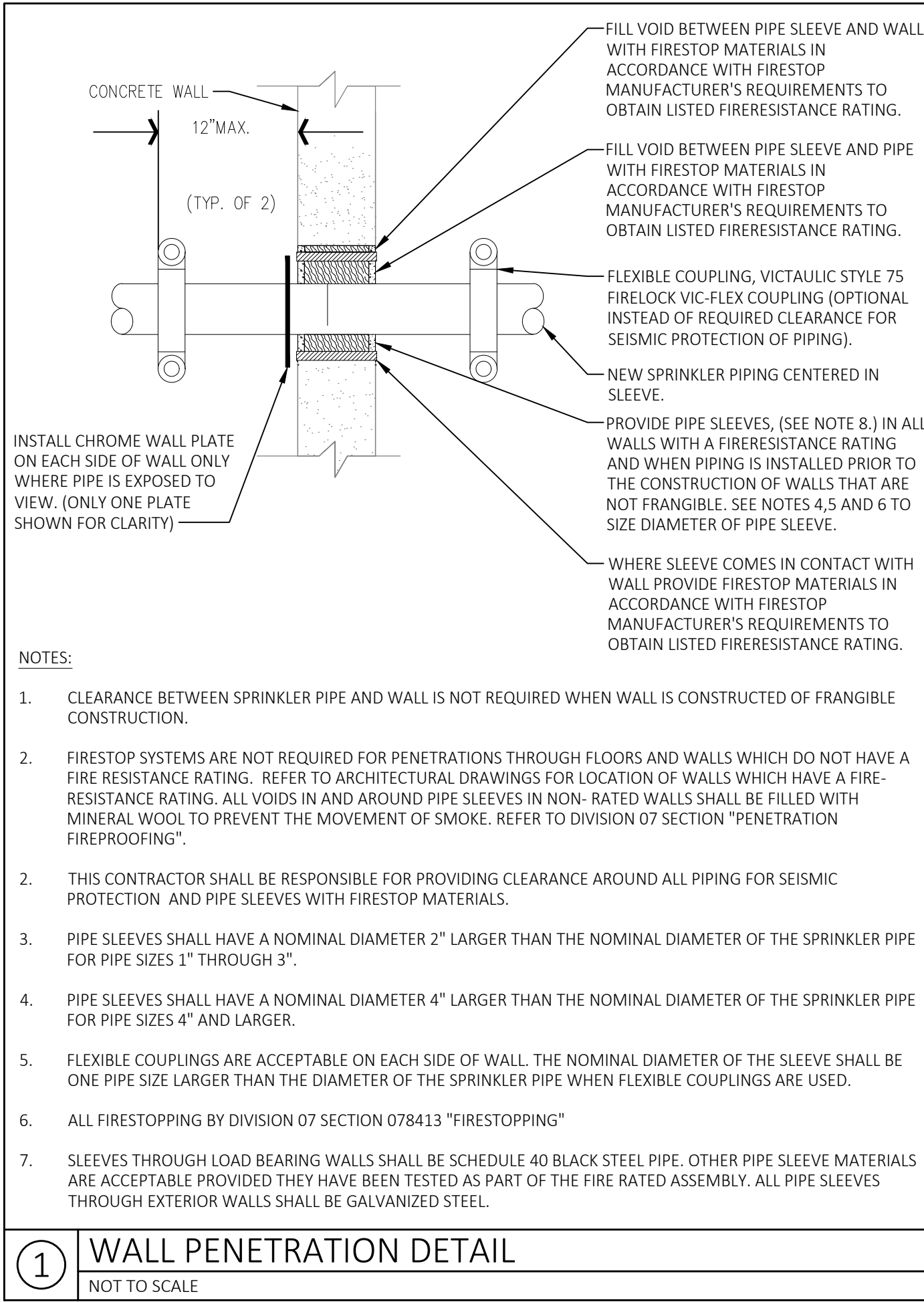
37 DRAKE RD 667-4

FA-0.0	FIRE ALARM LEGEND, NOTES, RISER AND DETAILS
FA-0.1	FIRST FLOOR DEMOLITION PLANS
FA-0.2	SECOND FLOOR DEMOLITION PLANS
FA-0.3	THIRD THROUGH SEVENTH FLOOR DEMOLITION PLANS
FA-1.0	FIRST FLOOR FIRE ALARM PLANS
FA-1.1	SECOND FLOOR FIRE ALARM PLANS
FA-1.2	THIRD THROUGH SEVENTH FLOOR FIRE ALARM PLANS
FA-2.0	TYPICAL UNIT FIRE ALARM PLANS
FP-1	FIRE PROTECTION LEGEND, NOTES, RISER AND DETAILS
FP-2	1ST FLOOR FIRE PROTECTION PLANS
FP-3	2ND FLOOR FIRE PROTECTION PLANS
FP-4	3RD THROUGH 7TH FLOOR FIRE PROTECTION PLANS

Project Engineer

MacRitchie Engineering, Inc.
197 Quincy Avenue
Braintree, MA 02184
(781) 848-4464

NOVEMBER 18, 2021



SPRINKLER SYSTEM DESIGN NARRATIVE

INSTALL A DRAIN RISER IN EACH STAIR TOWER AS INDICATED ON THE DRAWINGS. SEE DESIGN NOTES BELOW FOR FURTHER INSTALLATION INFORMATION. THE NEW SYSTEM SHALL BE INSTALLED PER NFPA 13 2013 AND FPA 14, 2013 EDITION & THE STATE BUILDING & FIRE CODES.

CODES AND AUTHORITIES:

TOWN OF ARLINGTON FIRE DEPARTMENT.

HAZARD CLASSIFICATION:

LIGHT HAZARD - 0.10 GPM/SQ. FT. OVER 1500 SQ. FT. - OFFICES, RESTROOM, SEATING AREAS, CORRIDORS,

ORDINARY HAZARD - GROUP 1 - 0.15 GPM OVER 1500 SQ. FT. - MECHANICAL ROOMS, KITCHEN AREA AND JANITOR'S CLOSET'S.

ORDINARY HAZARD - GROUP 2 - 0.20 GPM OVER 1500 SQ. FT. - STORAGE AREAS.

COVERAGE PER SPRINKLER:

225 SQ. FT. - STANDARD COVERAGE MAXIMUM - LIGHT HAZARD.
130 SQ. FT. - STANDARD COVERAGE MAXIMUM - ORD. HAZARD.

MINIMUM PRESSURES AND FLOWS PER SPRINKLER SHALL BE BASED ON MANUFACTURES PUBLISHED CRITERIA.

INSTALLATION REQUIREMENTS:

- ANY CONFLICTS FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION. DO NOT PROCEED WITH WORK IN AREA OF CONFLICT UNTIL A RESOLUTION HAS BEEN AGREED UPON BETWEEN ALL PARTIES INVOLVED AND NOTIFICATION HAS BEEN RECEIVED FROM ARCHITECT.
- THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVAL AND STAMPED DRAWINGS FROM THE FIRE MARSHAL'S OFFICE BEFORE ORDERING AND INSTALLING ANY PIPING.

SPRINKLER SYSTEM GENERAL NOTES

- THE CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS FOR THIS PROJECT PRIOR TO SUBMITTAL OF PROPOSAL AND THOROUGHLY FAMILIARIZE THEMSELVES WITH CONDITIONS THAT WILL AFFECT THE PERFORMANCE OF THE WORK. FAILURE TO DO SO WILL NOT ENTITLE THEM TO ANY ADDITIONAL COMPENSATION FOR PROVIDING A COMPLETE AND APPROVED SPRINKLER SYSTEM.
- COORDINATE WORK WITH ALL TRADES PRIOR TO INSTALLATION. COORDINATE NEW SPRINKLER LOCATIONS WITH ALL LIGHTS, DUCTWORK, DIFFUSERS & REGISTERS, STRUCTURAL BEAMS AND ELECTRICAL EQUIPMENT. ADJUST LOCATIONS AS REQUIRED TO COMPLY WITH THE OBSTRUCTIONS RULES OF NFPA 13.
- THE DRAWINGS SHOW PREFERRED HEAD AND PIPE LOCATIONS IN AREAS DEEMED CRITICAL FOR COORDINATION. THE NUMBER AND LOCATION OF HEADS, AND THE ROUTING AND SIZE OF PIPES IS NOT INTENDED TO FURNISH A FINISHED LAYOUT. THE CONTRACTOR SHALL PROVIDE COMPLETE SPRINKLER COVERAGE FOR ALL AREAS OF THE BUILDING IN ACCORDANCE WITH THE PERFORMANCE SPECIFICATION OF THE PROJECT MANUAL. ALL PIPE AND HEAD LOCATIONS SHALL BE COORDINATED BY THIS CONTRACTOR WITH THE WORK OF OTHER TRADES.
- SUBMIT WORKING DRAWINGS TO THE LOCAL FIRE MARSHAL FOR REVIEW AND APPROVAL. INCORPORATE ALL COMMENTS.

FIRE PROTECTION LEGEND

THE FOLLOWING DESIGNATIONS SHALL APPLY TO ALL FIRE PROTECTION SYMBOLS; UNLESS OTHERWISE NOTED:

N = NEW.
DN = DOWN.
FCVA = FLOOR CONTROL VALVE ASSEMBLY.

SPRINKLER PIPING.
SPRINKLER DRAIN PIPING
PIPE RISER UP (& DOWN)
PIPE DROP
PIPE TEE DROP
PIPE DROP & RUN
PIPE TEE OFF TOP



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ENGINEERING
INCORPORATED

197 Quincy Avenue,
Braintree, MA 02184
Tel. (781) 848-4464
Fax (781) 848-2613
www.macritchie.net

ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
FIRE PROTECTION
NARRATIVE, LEGEND,
NOTES AND DETAILS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: DCE

CHECKED BY: BM

DATE: 11/18/2021

FILENAME:

PROJECT NO: 2021-028.00

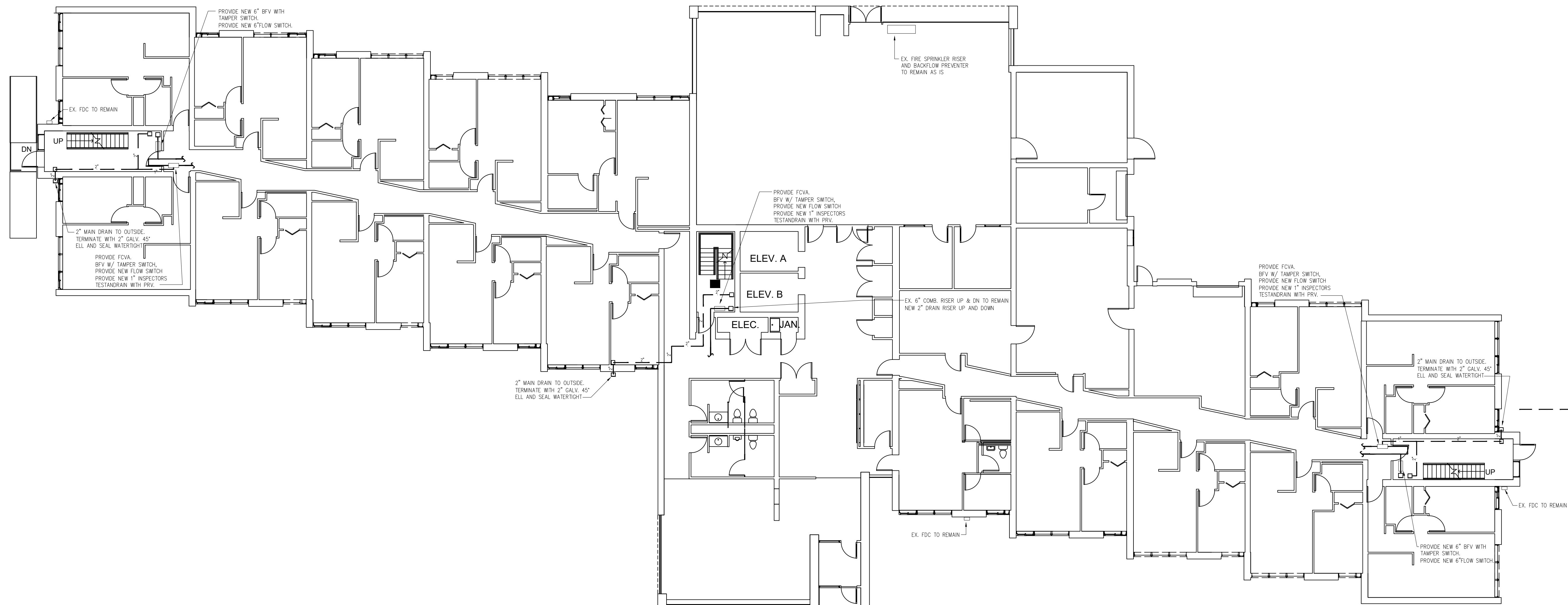
FP-1

SHEET NUMBER

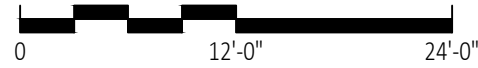


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① 1ST FLOOR FIRE PROTECTION
SCALE: 3/32" = 1'-0"



ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES
37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
1ST FLOOR
FIRE PROTECTION
FLOOR PLAN

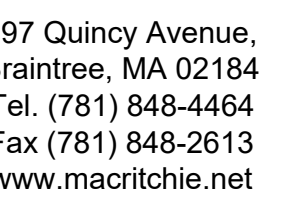
DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED
DRAWN BY: DCE
CHECKED BY: BM
DATE: 11/18/2021
FILENAME:
PROJECT NO: 2021-028.00

FP-2

SHEET NUMBER



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Tel. (781) 848-4464
Fax (781) 848-2613
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 DRIVER'S STAMP:

PROJECT TITLE:
BIRMINGHAM HOUSING
AUTHORITY
RESIDENT BUILDING
FIRE ALARM UPGRADES

RAKE RD
INGTON, MA 02476

PROJECT TITLE:
FLOOR
FLOOR PROTECTION
FOR PLAN

NG REVISIONS:

E	DESCRIPTION

AS NOTED

BY: DCE

ED BY: BM

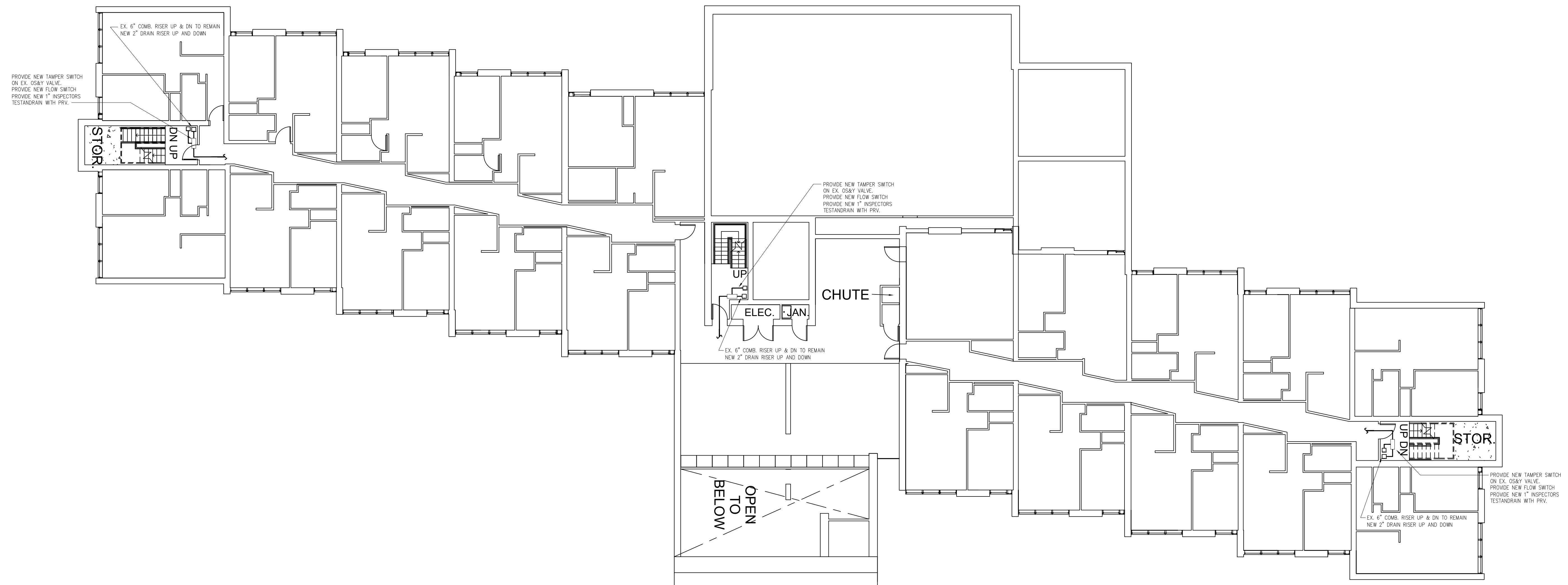
11/18/2021

NAME: _____

CT NO: 2021-028.00

FP-3

NUMBER _____



1 2ND FLOOR FIRE PROTECTION
SCALE: 3/32" = 1'-0"



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Tel. (781) 848-4464
Fax (781) 848-2613
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ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
3RD THRU 7TH FLOOR
FIRE PROTECTION
FLOOR PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: DCE

CHECKED BY: BM

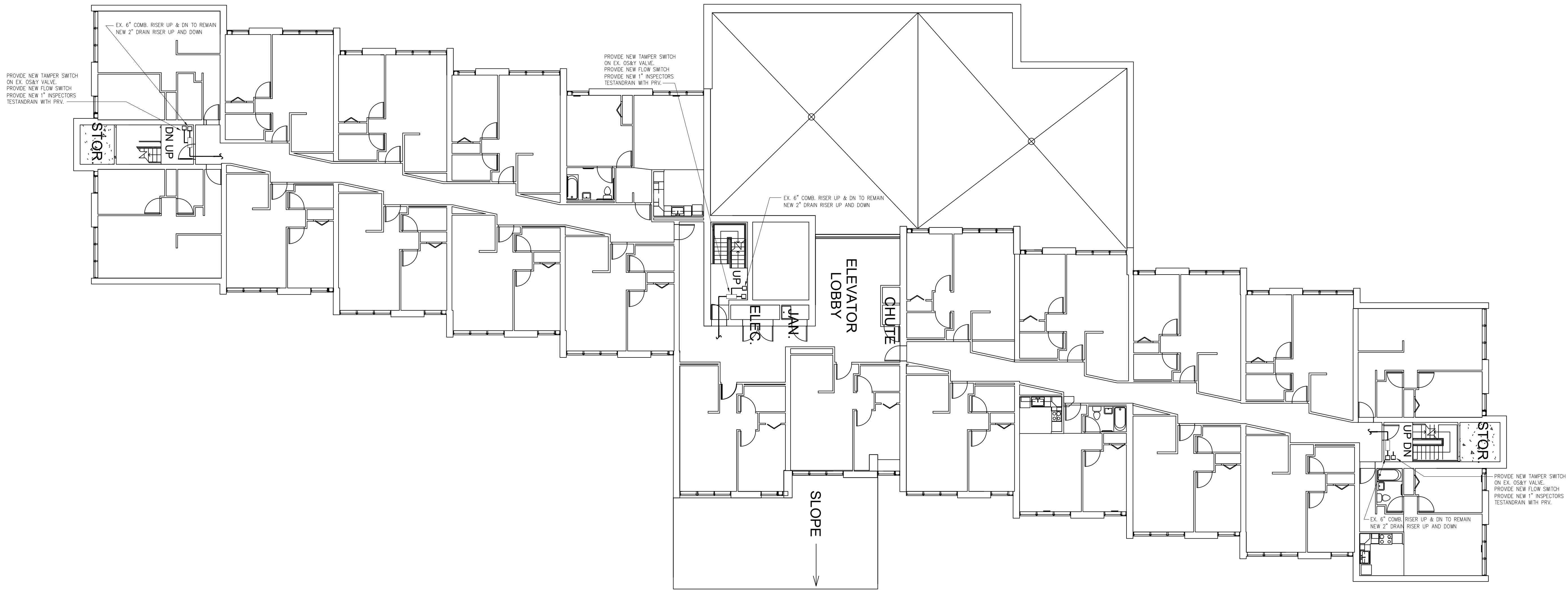
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FILENAME:

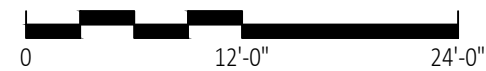
PROJECT NO: 2021-028.00

FP-4

SHEET NUMBER



1 3RD THRU 7TH FLOOR FIRE PROTECTION
SCALE: 3/32" = 1'-0"

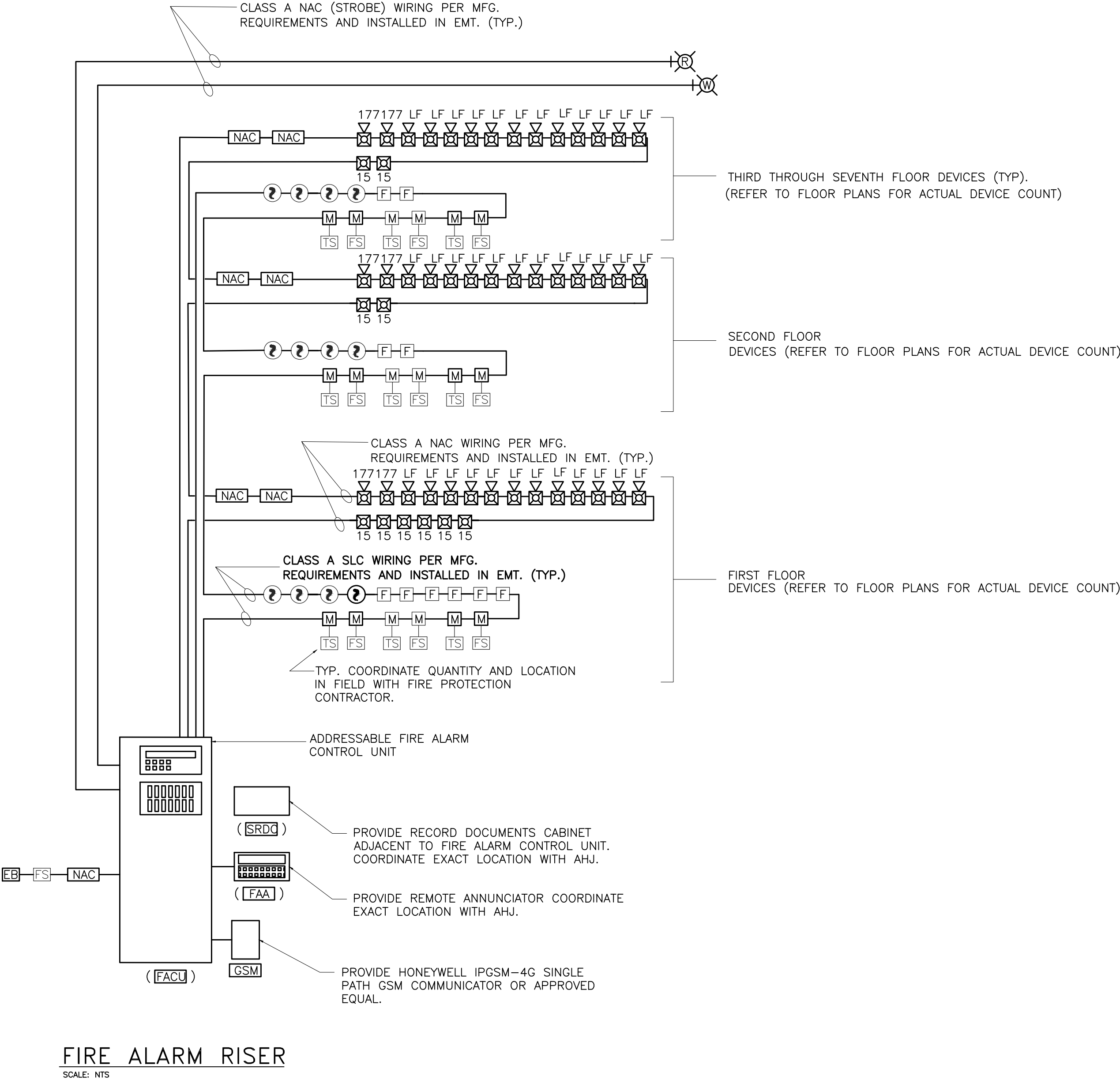


FIRE ALARM NOTES:

1. COORDINATE EXACT MTG. LOCATION AND HEIGHT WITH ARCHITECTURAL DRAWINGS.
2. ALL COMPONENTS SHOWN ON THE RISER DIAGRAMS, BUT NOT ON THE PLAN OR VICE VERSA, SHALL BE INCLUDED AS IF SHOWN ON BOTH.
3. ALL SLC, IDC, AND NAC WIRING SHALL BE CLASS 'A', WIRED PER MANUFACTURER'S SPECIFICATIONS. WIRING SHALL BE PER NFPA 70 AND PER NFPA 72. WIRING SHALL BE RUN CONCEALED OR IN EMT WHERE EXPOSED.
4. ALL WIRING SHALL BE RUN CONCEALED UNLESS SPECIFIED OTHERWISE. EXPOSED WIRING SHALL BE IN CONDUIT AND RUN FLUSH TO THE STRUCTURE IN A NEAT RECTILINEAR MANNER, ALWAYS PERPENDICULAR TO WALLS.
5. ALL RACEWAYS RUNNING THROUGH BUILDING EXPANSION JOINTS SHALL BE EQUIPPED WITH EXPANSION FITTINGS. COORDINATE WITH ARCHITECTURAL AND STRUCTURAL PLANS.
6. ALL RACEWAYS RUNNING THROUGH BUILDING FIRE WALLS OR SMOKE BARRIERS SHALL BE SEALED AROUND WITH APPROVED FIRE SEALANT, BY THE FIRE ALARM SYSTEM INSTALLER. COORDINATE WITH ARCHITECTURAL PLANS.
7. SYSTEM RECORD DOCUMENTS CABINET SHALL BE LOCATED SEMI-FLUSH IN WALL BELOW FIRE ALARM SYSTEM REMOTE ANNUNCIATOR IN MAIN ENTRY VESTIBULE. COORDINATE EXACT LOCATION AND MOUNTING WITH ARCHITECT.
8. COORDINATE FIRE ALARM SYSTEM REQUIREMENTS WITH FIRE PROTECTION OFFICER OF LOCAL FIRE DEPARTMENT PRIOR TO SUBMITTING SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
9. PROVIDE A MINIMUM OF 20% SPARE CAPACITY IN THE NOTIFICATION APPLIANCE CIRCUITRY (INCLUDING BATTERY CAPACITY) FOR ADDITIONAL NOTIFICATION APPLIANCES WHICH MAY BE REQUIRED FOR FUTURE HEARING IMPAIRED EMPLOYEES OR TENANTS (SEE NFPA 72 907.5.2.3.2). .
10. LOCATIONS OF DEVICES ARE SHOWN BASED UPON CODE REQUIRED CALCULATIONS PERFORMED BY THE ELECTRICAL ENGINEER. DEVICES SHALL NOT BE RELOCATED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER OF RECORD. SEND ALL PROPOSED LOCATION CHANGES IN WRITING, ALL AT THE SAME TIME, FOR APPROVAL IN THE FORM OF SKETCHES WITH DIMENSIONS. VERBAL REQUESTS SHALL NOT BE PERMITTED FOR CHANGING THE LOCATIONS OF LIFE SAFETY DEVICES AND EQUIPMENT.
11. MANUAL (PULL) STATIONS SHALL BE INSTALLED WITHIN 5'-0" OF THE PULL SIDE OF THE EGRESS DOOR THAT THEY SERVE. COORDINATE EXACT LOCATION WITH ARCHITECT.
12. ALL SMOKE DETECTORS SHALL BE INSTALLED AS SHOWN, PER THE MANUFACTURER'S RECOMMENDATIONS AND SHALL BE KEPT A MINIMUM OF 36" FROM ANY SUPPLY OR RETURN DIFFUSER, INCLUDING EXHAUST GRILLS AND/OR DIFFUSERS.
13. THE EXISTING FIRE ALARM SYSTEM WILL REMAIN FULLY FUNCTIONAL DURING THE DURATION OF CONSTRUCTION UNTIL THE NEW FIRE ALARM SYSTEM IS COMPLETED, TESTED, AND FULLY FUNCTIONAL.

FIRE ALARM SYMBOL LEGEND

SYMBOL	DESCRIPTION
	ADDRESSABLE MANUAL PULL STATION. PROVIDE WITH "STI" STOPPER II COVERS OR APPROVED EQUAL.
	ADDRESSABLE PHOTOELECTRIC SMOKE DETECTOR.
	PROVIDE WIRING AND CONNECTION TO SPRINKLER SYSTEM FLOW SWITCH. SWITCH PROVIDED BY F.P. CONTRACTOR.
	PROVIDE WIRING AND CONNECTION TO SPRINKLER SYSTEM TAMPER SWITCH. SWITCH PROVIDED BY F.P. CONTRACTOR.
	PROVIDE WIRING AND CONNECTION TO SPRINKLER SYSTEM PRESSURE SWITCH. SWITCH PROVIDED BY F.P. CONTRACTOR.
	ADDRESSABLE MONITOR MODULE.
	LOW FREQUENCY SOUNDER BASE.
	WALL MOUNTED VISUAL ONLY ALARM SIGNAL.
	WALL MOUNTED SPEAKER STROBE.
	KEYED DUCT SMOKE DETECTOR TEST SWITCH WITH REMOTE ALARM INDICATOR. LOCATE PER LOCAL FIRE DEPARTMENT
	FIRE DEPARTMENT KEY VAULT.
	FIRE ALARM SYSTEM CONTROL UNIT.
	FIRE ALARM NAC EXTENDER WITH BATTERIES UNIT.
	REMOTE INDICATOR.
	PROVIDE 24VDC CONNECTION TO ELECTRIC WATER FLOW BELL (BY FP CONTRACTOR) FROM INDEPENDENT POWER SUPPLY. TWO POLE FLOW SWITCH BY FP CONTRACTOR AS WELL. COORDINATE LOCATION W/ SPRINKLER CONTRACTOR AND LOCAL FIRE DEPARTMENT
	FIRE ALARM SYSTEM REMOTE ANNUNCIATOR.
	WEATHERPROOF EXTERIOR FIRE ALARM STROBE LIGHT. COLOR DESIGNATION: "R" INDICATES RED "W" INDICATES WHITE
	FIRE ALARM SYSTEM RECORD DOCUMENTS CABINET PROVIDE SPACE AGE ELECTRONICS # SSU00689.
x1	= QUANTITIES



MacRITCHIE
ENGINEERING
INCORPORATED

197 Quincy Avenue,
Braintree, MA 02184
Tel. (781) 848-4464
Fax (781) 848-2613
www.macritchie.net

ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
FIRE ALARM LEGEND,
NOTES, RISER AND
DETAILS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: DLB

CHECKED BY: HG

DATE: 11/18/2021

FILENAME:

PROJECT NO: 2021-028.00

FA-0.0

SHEET NUMBER



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ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
FIRST FLOOR
DEMOLITION PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: SK

CHECKED BY: HG

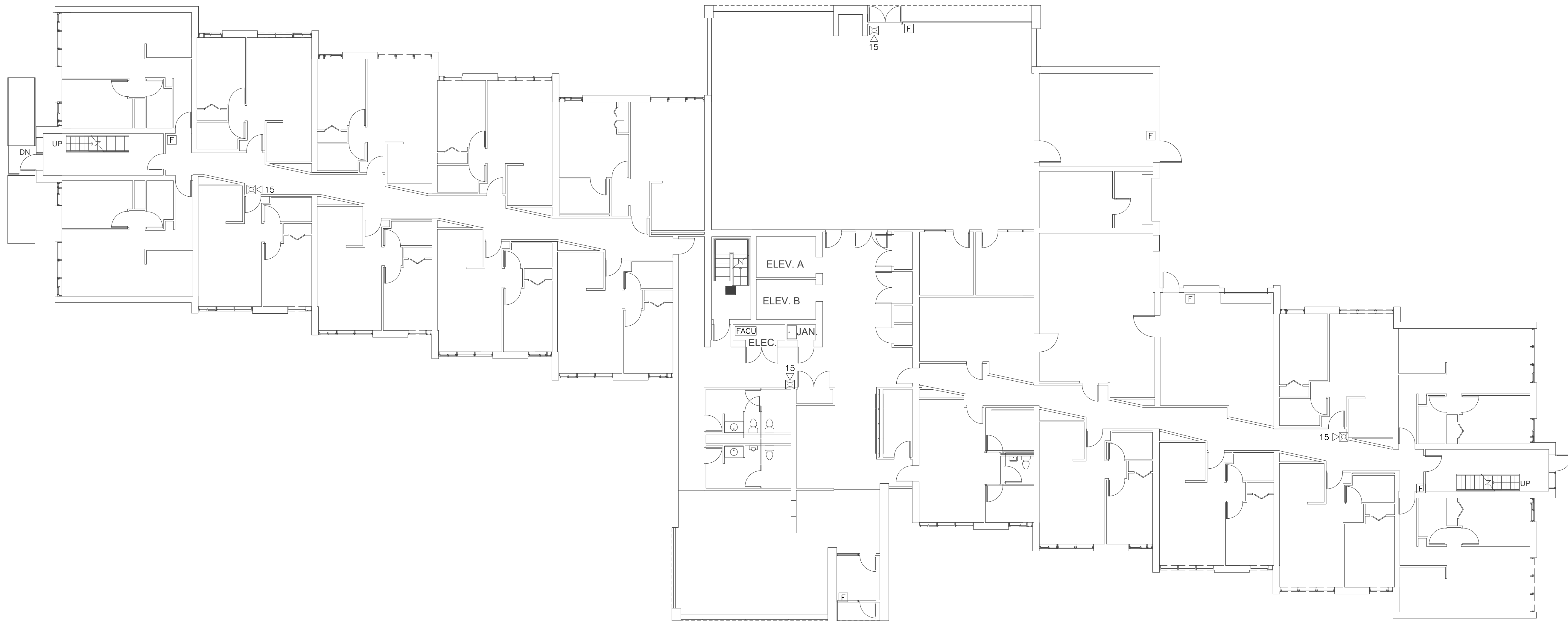
DATE: 11/18/2021

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PROJECT NO: 2021-028.00

FA-0.1

SHEET NUMBER



FIRST FLOOR DEMOLITION PLAN

SCALE: 3/32" = 1'-0"

DEMOLITION NOTES:

1. DEMOLISH ALL FIRE ALARM DEVICES WITH IN TENANT UNITS.



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DEMOLITION NOTES:
1. DEMOLISH ALL FIRE ALARM DEVICES WITH IN TENANT UNITS.

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PROJECT TITLE:
ARLINGTON HOUSING
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FIRE ALARM UPGRADES

7 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
SECOND FLOOR
DEMOLITION PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

RAWN BY: SK

CHECKED BY: HG

DATE: 11/18/2021

NAME: _____

PROJECT NO: 2021-028.00

FA-0.2

SHEET NUMBER _____



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ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
THIRD THROUGH
SEVENTH FLOOR
DEMOLITION PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: SK

CHECKED BY: HG

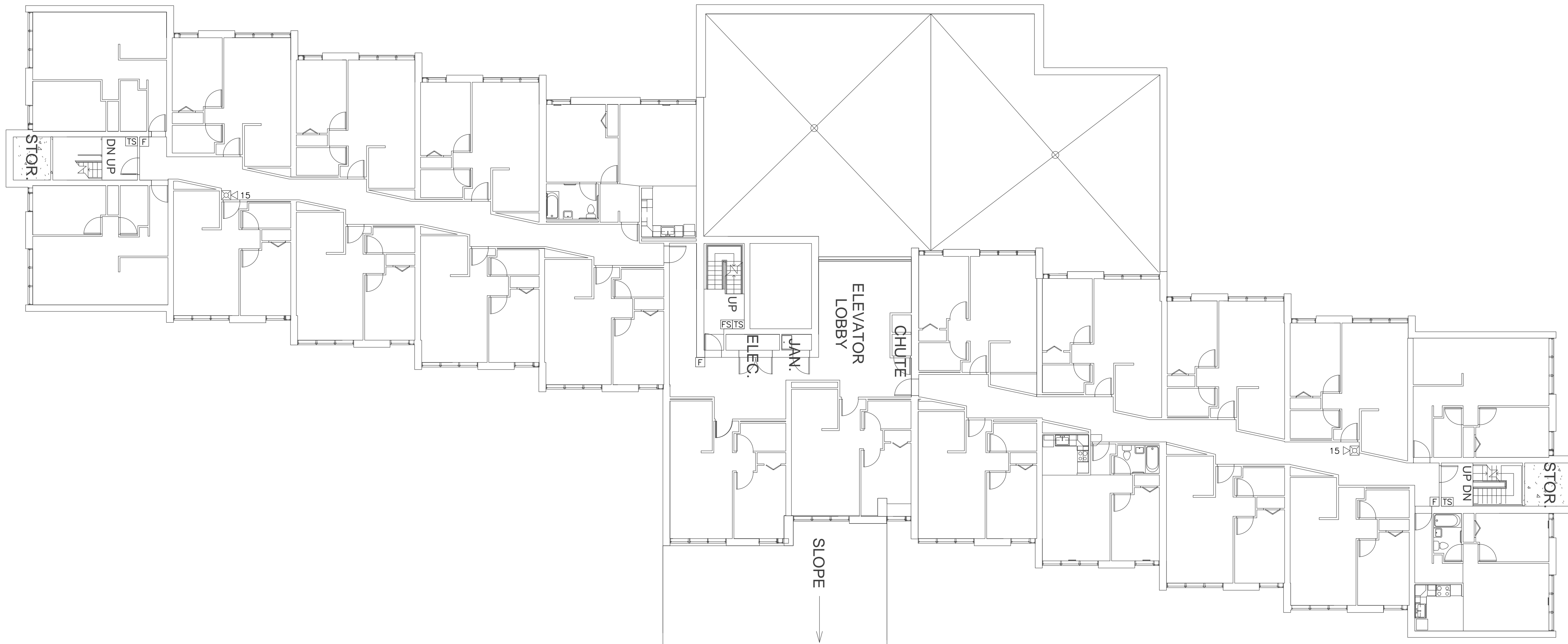
DATE: 11/18/2021

FILENAME:

PROJECT NO: 2021-028.00

FA-0.3

SHEET NUMBER



THIRD-SEVENTH FLOOR DEMOLITION PLAN

SCALE: 3/32" = 1'-0"

DEMOLITION NOTES:

1. DEMOLISH ALL FIRE ALARM DEVICES WITH IN TENANT UNITS.



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Braintree, MA 02184
Tel. (781) 848-4464
Fax (781) 848-2613
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ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
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HAUSER BUILDING
FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
FIRST FLOOR FIRE
ALARM PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: SK

CHECKED BY: HG

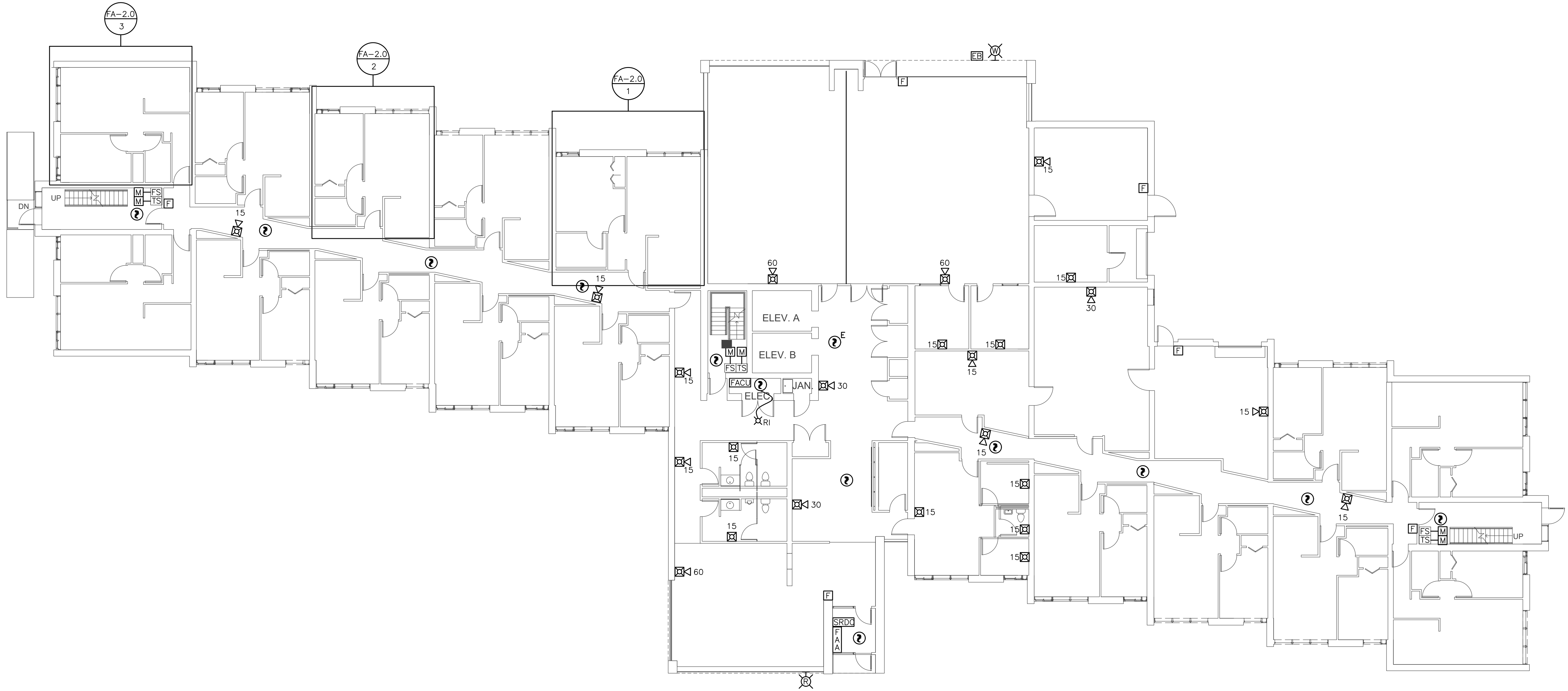
DATE: 11/18/2021

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PROJECT NO: 2021-028.00

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SHEET NUMBER



FIRST FLOOR FIRE ALARM PLAN

SCALE: 3/32" = 1'-0"



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ENGINEER'S STAMP:

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FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
SECOND FLOOR FIRE
ALARM PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: SK

CHECKED BY: HG

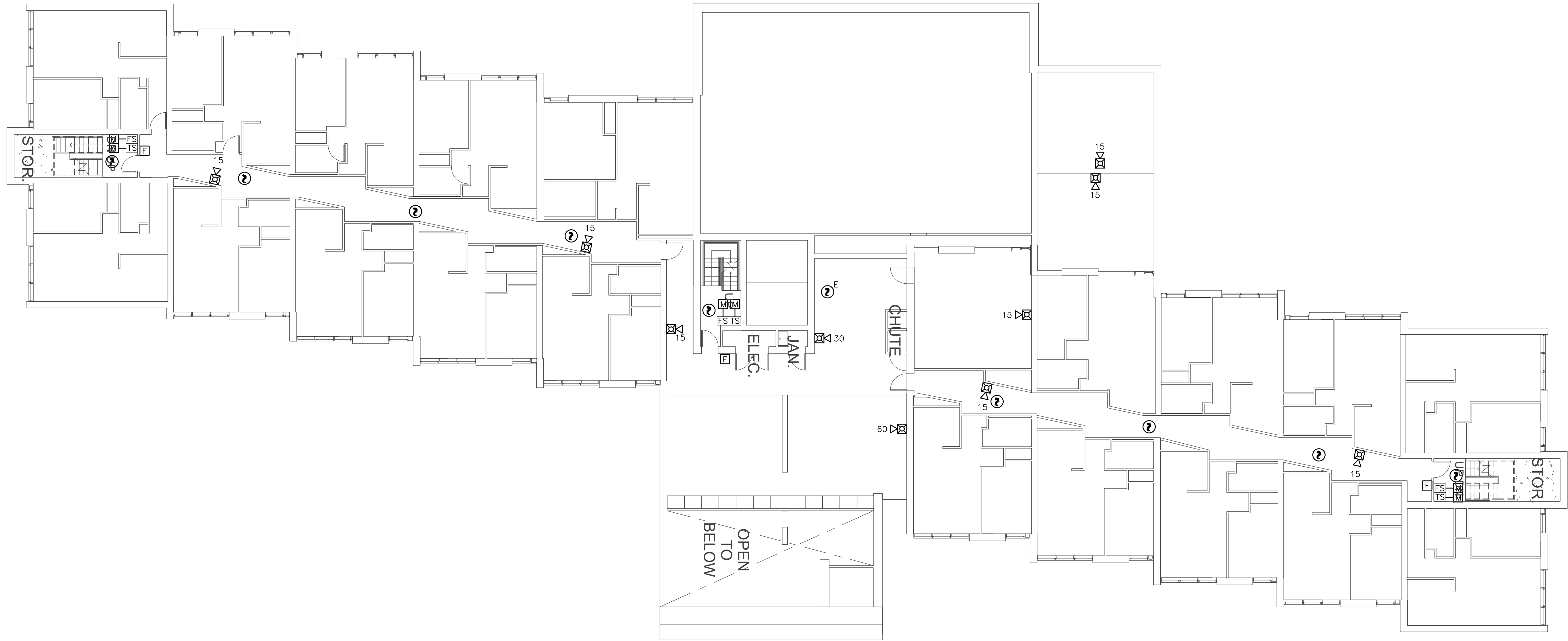
DATE: 11/18/2021

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SHEET NUMBER



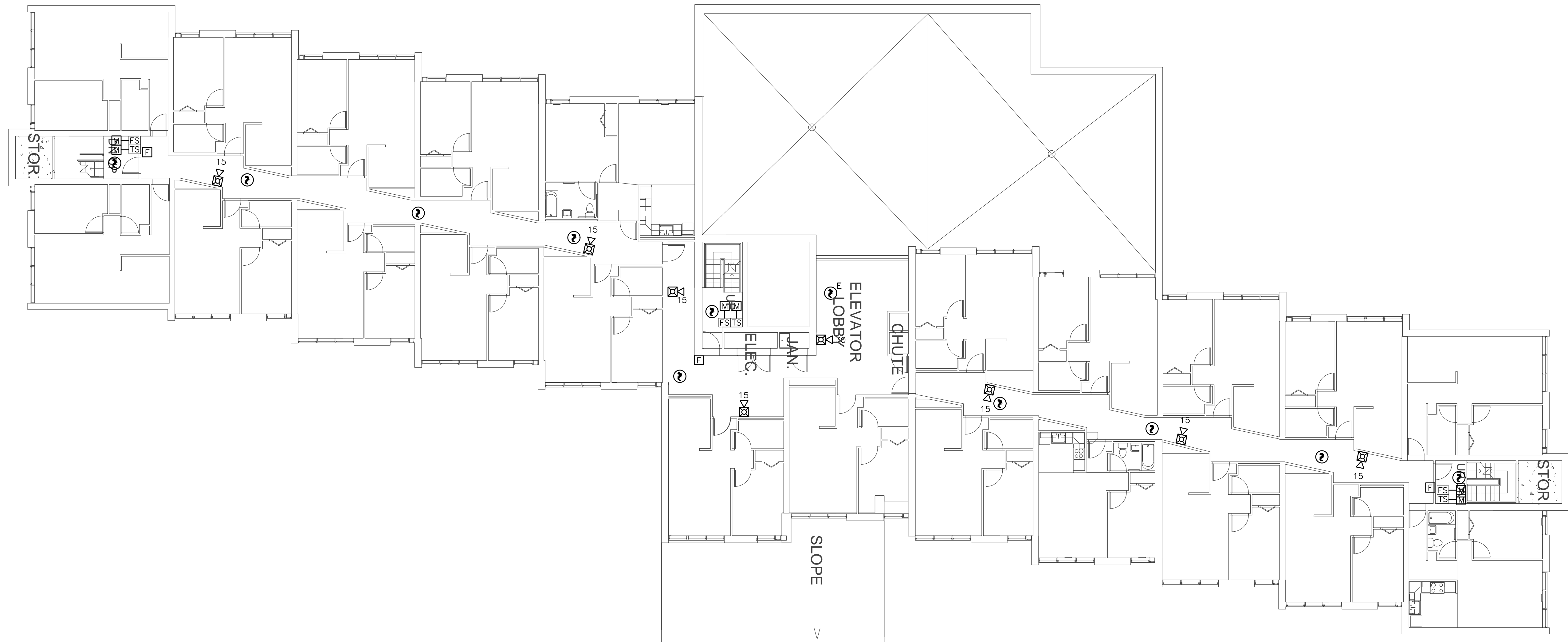
SECOND FLOOR FIRE ALARM PLAN

SCALE: 3/32" = 1'-0"



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THIRD-SEVENTH FLOOR FIRE ALARM PLANS
SCALE: 3/32" = 1'-0"

ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES
37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
THIRD THROUGH
SEVENTH FLOOR FIRE
ALARM PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED
DRAWN BY: SK
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DATE: 11/18/2021
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PROJECT NO: 2021-028.00

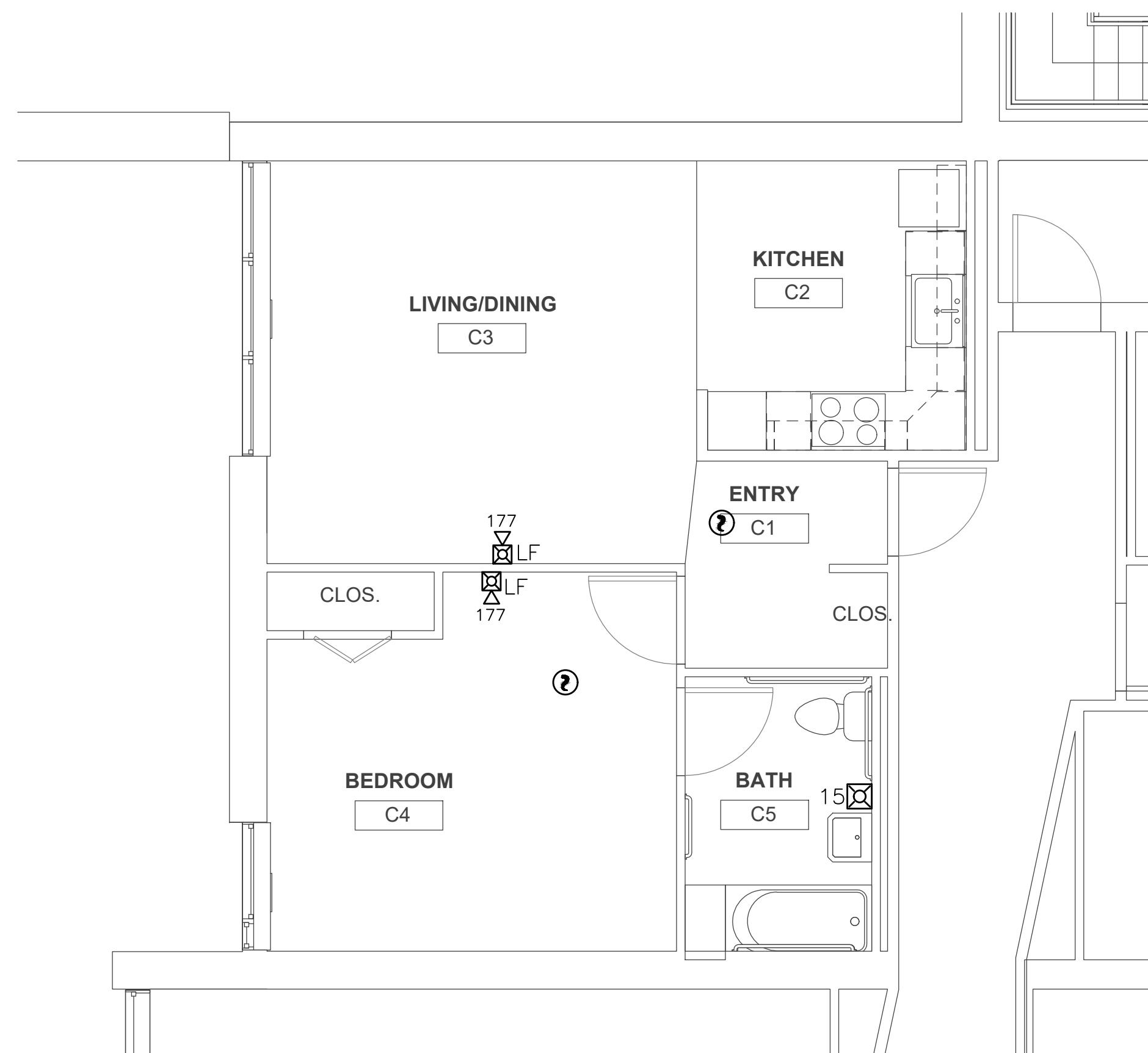
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SHEET NUMBER



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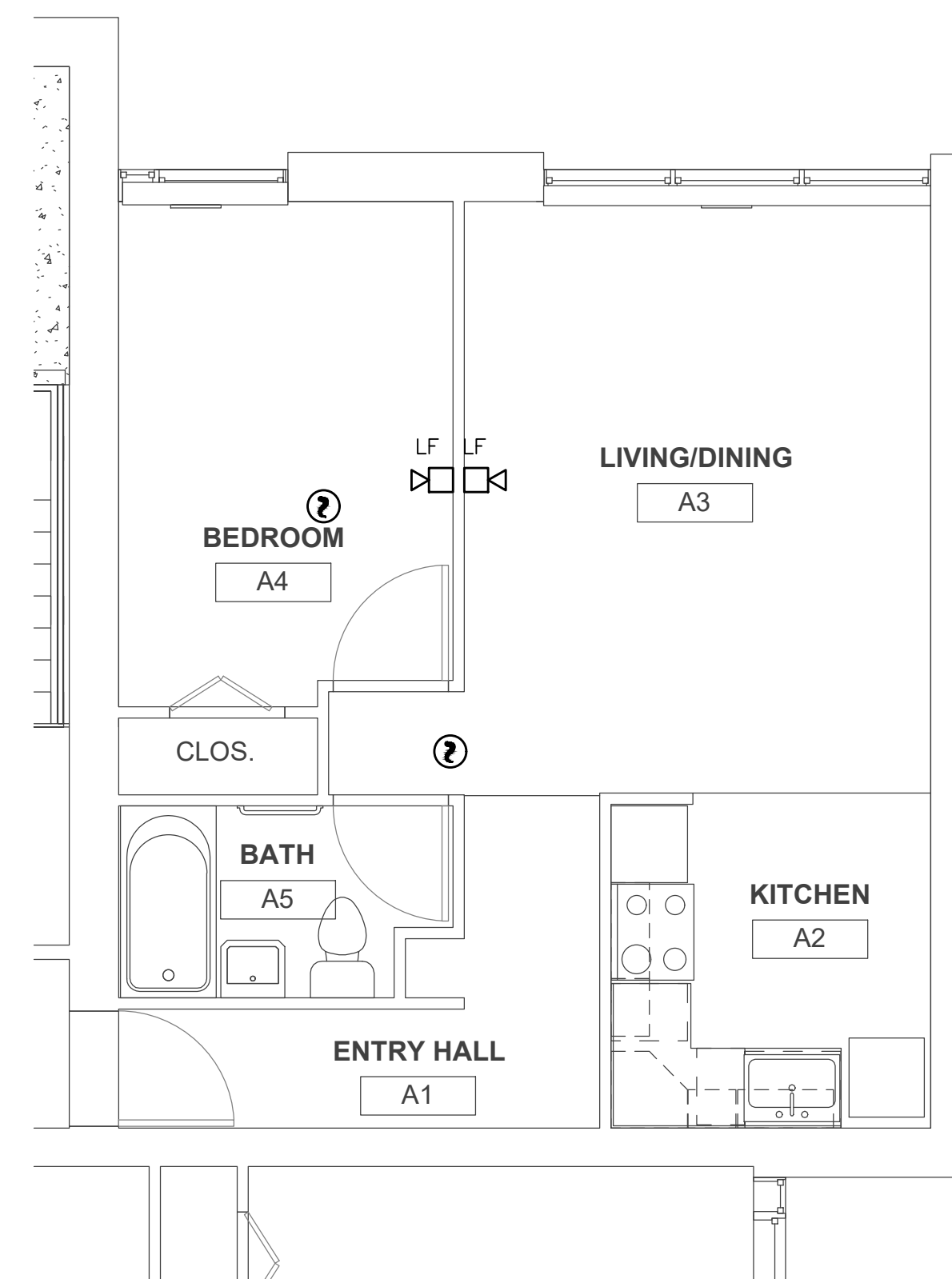
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1 TYPICAL ACCESSIBLE UNIT FIRE ALARM PLAN
SCALE: 1/4"=1'-0"



2 TYPICAL MIDDLE UNIT FIRE ALARM PLAN
SCALE: 1/4"=1'-0"



3 TYPICAL END UNIT FIRE ALARM PLAN
SCALE: 1/4"=1'-0"

ENGINEER'S STAMP:

PROJECT TITLE:
ARLINGTON HOUSING
AUTHORITY
HAUSER BUILDING
FIRE ALARM UPGRADES

37 DRAKE RD
ARLINGTON, MA 02476

DRAWING TITLE:
TYPICAL UNIT FIRE
ALARM PLANS

DRAWING REVISIONS:

DATE	DESCRIPTION

SCALE: AS NOTED

DRAWN BY: SK

CHECKED BY: HG

DATE: 11/18/2021

FILENAME:

PROJECT NO: 2021-028.00

FA-2.0

SHEET NUMBER

PROJECT MANUAL
MODERNIZATION OF STATE AIDED PUBLIC HOUSING

**DHCD FISH
#010102**

**667-4 Fire alarm system replacement,
#010102**

STATE-AIDED DEVELOPMENT:

Hauser Building (667-4)

37 Drake Road, Arlington, MA 02476

Arlington, MASSACHUSETTS

Massachusetts Department of
Housing and Community Development



Arlington Housing Authority

4 Winslow Street

Arlington, Massachusetts 02474

Phone: 781-646-3400

Fax: 781-643-6923

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Vice Chair: Jo Anne Preston

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Member: Fiorella Badilla

Member: Nicholas Mitropoulos

Prime Designer:

Macritchie Engineering

197 quincy ave

Braintree, MA 02184

Phone: (781) 848-4464

DATE: 18 Nov 2021